

REQUEST FOR COUNCIL ACTION

MEETING
DATE: 09-15-03

87-

AGENDA SECTION: PUBLIC HEARING	ORIGINATING DEPT: PLANNING	ITEM NO. E-4
ITEM DESCRIPTION: Type III, Phase III Incentive Development Final Plan #02-35 by Bethel Lutheran Church to permit a 33,515 square foot addition to the existing facility that would exceed the permitted floor area ratio. The property is located at 810 Third Avenue SE. The property is bounded by 3 rd Avenue SE on the west, 4 th Avenue SE on the east, 9 th Street SE on the south and 8 th Street SE on the north.		PREPARED BY: Theresa Fogarty, Planner

September 9, 2003

Note: The applicant submitted a revised design and site plan. Staff is recommending the removal of Condition #1. Recommended revisions are shown as ~~strikeout text~~ for text to be deleted.

City Planning and Zoning Commission Recommendation:

The City Planning and Zoning Commission reviewed the final plat on August 13, 2003.

The Planning Commission recommends approval subject to the following conditions:

- ~~1. The design and site plan shall be revised, prior to the Council meeting to include the additional landscaping being provided from the preliminary plan and matching the number of parking spaces to be provided currently established at 262 spaces.~~
- 2. A separate grading plan approval is required for this project, if grading involves more than 50 cubic yards of materials and a storm water management fee will be applicable to any increase in impervious surface resulting from this project.**
- 3. The owner shall obtain a Revocable Permit from the City for the continued use of banners and associated brackets mounted on utility poles within the public right-of-way. If the Revocable Permit is not granted, banners and brackets shall be removed.**
- 4. A Storm Water Management fee will be applicable to any NEW additional areas of impervious surface.**
- 5. Any existing utilities that need to be relocated as a result of this development shall be relocated at the expense of the applicant. All existing water services that will be unused must be abandoned properly at the main in the street, per City Public Utilities – Water Division requirements. If the relocation of public sanitary sewer, storm sewer or watermain is required, the execution of a City/Owner Contract shall be completed for this project.**
- 6. An additional fire hydrant shall be provided at the 4th Avenue SE entrance to the parking lot. The location of the additional fire hydrant can be moved to the boulevard area of 4th Avenue SE near the east entrance. The Fire Prevention Bureau has approved this location and since the hydrant will be located within the public right-of-way, the execution of a City/Owner Contract will be necessary.**
- 7. Council approval is required to allow the proposed access onto 3rd Avenue SE and onto 9th Street SE, since they exceed the maximum width allowed of 32 feet. Public Works supports the proposed access width at 36 feet. (Note: The widths are indicated as 36 feet on one page of the plans and as 37 feet on another). If the City Council doesn't approve the 36' wide access opening, the site plan shall be revised so that the openings are at a maximum 32' in width.**

COUNCIL ACTION: Motion by: _____ Second by: _____ to: _____

8. *The retaining wall shown on the plan must be at least 18 inches from the edge of the sidewalk. Landscape plantings must also maintain 18 inches of clearance from the sidewalk at full growth.*
9. *The owner shall remove any remaining driveway approaches from the removed dwellings and restore the curb and boulevard. The condition of the existing concrete sidewalk and curb along the frontages of this property will be reviewed by City Public Works staff, and any needed panel repair and/or replacement work of sidewalk or curbing shall be done concurrent with the building expansion project. The driveway changes on 3rd Avenue SE shall be required to match existing construction and meet City design standards.*

Ms. Petersson moved to recommend approval of Type III, Phase III Incentive Development Final Plan #02-35 by Bethel Lutheran Church with the staff-recommended findings and conditions. Mr. Haeussinger seconded the motion. The motion carried 7-1 with Ms. Rivas voting nay.

Planning Department Recommendation:

See attached staff report, dated August 21, 2003.

Council Action Needed:

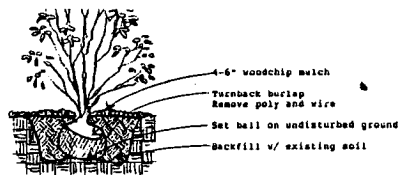
1. *If the Council wishes to proceed, it should instruct the City Attorney to prepare a resolution either approving, approving with conditions, or denying this request based upon the criteria included in the staff report.*
2. *The Council should include a motion to support either approval or denial of the proposed access openings onto 3rd Avenue SE and 9th Street SE at 36 feet in width.*

Attachments:

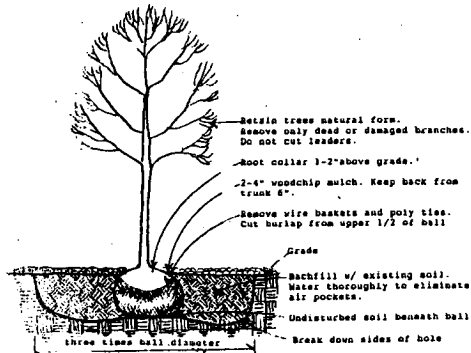
1. Staff Report, dated August 21, 2003.
2. Minutes of the August 27, 2003 CPZC Meeting.
3. Revised design and site plan.

Distribution:

1. City Clerk
2. City Attorney
3. Planning Department File
4. Applicant: This item will be considered sometime after 7:00 p.m. on Monday, September 15, 2003 in the Council Chambers at the Rochester / Olmsted County Government Center.
5. Station Nineteen Architects



SHRUB PLANTING DETAIL

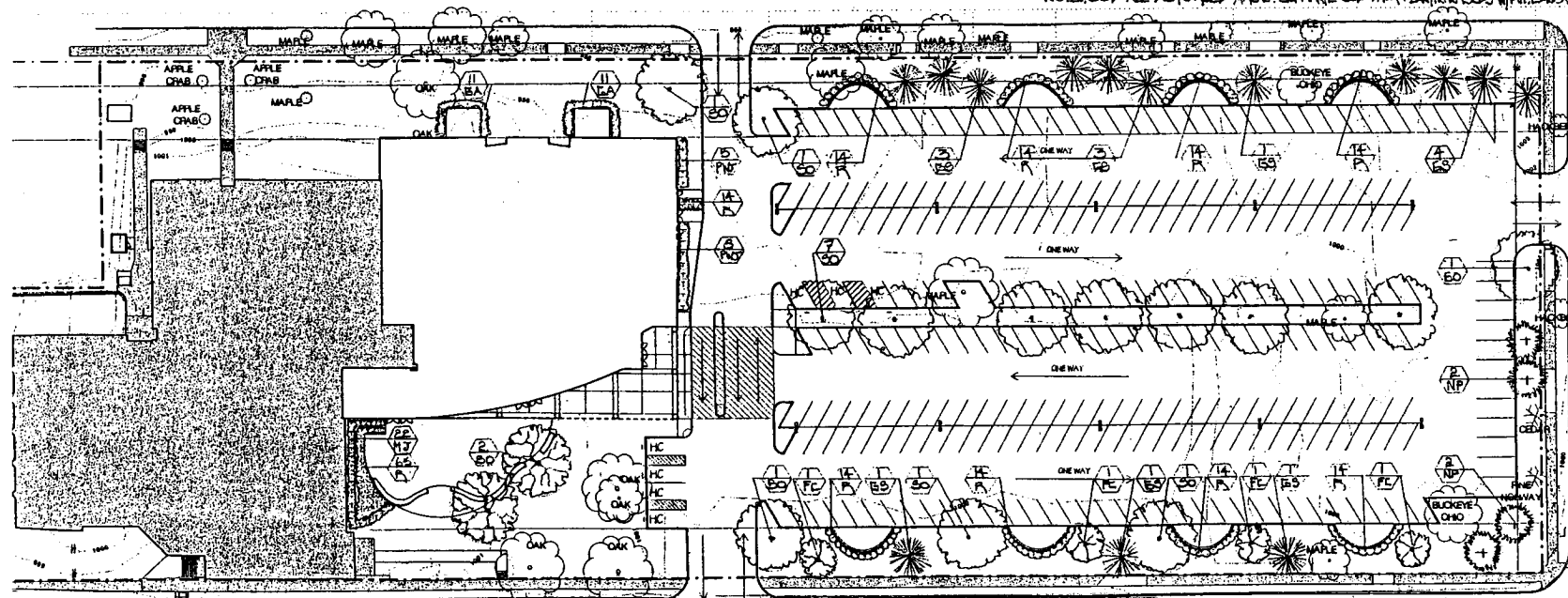


TREE PLANTING DETAIL

PLANT SCHEDULE

QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE	HIGH	REMARKS
13	SO	SWAMP OAK	QUERUS RICOLTA	1.5	ENT	
2	EO	BUR OAK	Q. MACROCARPA	1.5	ENT	
2	FC	FLOWERING CRAB	MAULUS ADAMS	4	COAT	
1	FE	FLOWERING CRAB	M. DONADWYNN	4	COAT	
1	FE	FLOWERING CRAB	M. PRINCE FINE	4	COAT	
14	ES	GREEN SPRUCE	PICEA RUFENS	3	COAT	
4	NP	NORWAY FIR	PINUS RESINOSA	3	COAT	
22	MJ	MINT JULEP	JUNIPERUS MONILEP	5	COAT	
71	R	BUSH ROSE	R. NERLAND CHERRY	12	COAT	RANDOM COLOR MIX
10	R	"	R. ROYAL EONICA	12	COAT	RANDOM COLOR MIX
10	R	"	R. PRINCE OF WALES	12	COAT	RANDOM COLOR MIX
13	PN	PRINCE OF WALES JUN.	J. HEP. PRINCE WALES	15	COAT	
22	SA	GLOBE ARBORETYPE	THUJA 'LITTLE LANT	15	COAT	

NOTES: 1. ALL PLANTING AREAS. SEPARATE JOB FROM PLANTING BEDS WITH BENCH.



REVISED



INTELLIGENT
Architects • Incorporated
2001 UNIVERSITY
AVENUE SOUTHEAST
SUITE 100
MINNEAPOLIS,
MINNESOTA 55414
PHONE (612) 823 1800
FAX (612) 823 0012

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of:

MINNESOTA
Dana Young P.L.A.
Architect, MINNESOTA
Registration Number
12201
Date
9-2-03
Drawn By
Checked By

Revisions...

4210
Project Number

BETHEL
LUTHERAN
CHURCH

ROCHESTER,
MINNESOTA

These plans were prepared by the undersigned for the use of the City of Rochester, Minnesota, and are not to be used for any other purpose without the written consent of the undersigned. The undersigned is not responsible for any errors or omissions in these plans, and the City of Rochester is not responsible for any errors or omissions in these plans.

















DANA YOUNG
LANDSCAPE ARCHITECTURE
2001 UNIVERSITY STREET, SUITE 100
MINNEAPOLIS, MN 55414
(612) 823-1800

RECEIVED
SEP - 5 2003
CONSTRUCTION DOCUMENTS
LANDSCAPE PLAN

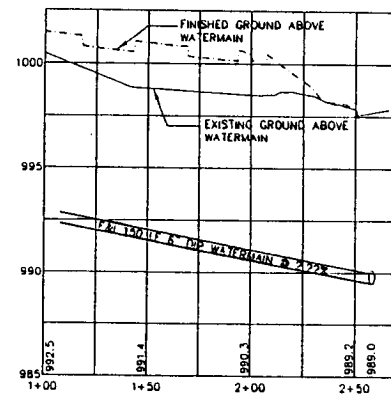
L1.1

89

SYMBOL LEGEND

	EXISTING SANITARY MANHOLE		EXISTING MILEAGE
	EXISTING STORM MANHOLE		EXISTING FISH
	EXISTING HYDRANT		EXISTING LIGHT POLE
	EXISTING COVER TIME		FOUND IRON MEASUREMENT
	EXISTING DECOLOUR TIME		BENCH MARK
	EXISTING POLE		EXISTING GAUGE METER
	EXISTING POWER POLE		EXISTING GAS MAIN
	SPOT ELEVATION		EXISTING ELECTRIC METER

ALL DISTURBED AREAS SHALL BE COVERED BY A MINIMUM OF 4" OF SALVAGED TOPSOIL. DISTURBED AREAS SHALL BE SODDED FOLLOWING GRADING OPERATIONS.



WATERMAIN PROFILE

CITY OF ROCHESTER
PROJECT NO. MX-XX, JXXXX

APPROVED _____
ROCHESTER PUBLIC WORKS DIRECTOR

RECOMMENDED FOR APPROVAL _____
MANAGER OF ENGINEERING

RECOMMENDED FOR APPROVAL _____
APU WATERS Division

DATE _____

DATE _____

DATE _____

W-1
2+58
F&I 8" TAPPING SLEEVE
& GATE VALVE 3' FROM SLEEVE

W-2
1+08
F&I 6" HYDRANT
BREAKOFF EL. 1002.2
F&I 6" GATE VALVE & BOX
3' FROM HYDRANT

ST-1
CONNECT TO EXISTING
12" STORM SEWER
EL. 994.3 (VERIFY)

ST-2
CONNECT TO EXISTING
12" STORM SEWER
EL. 994.5 (VERIFY)

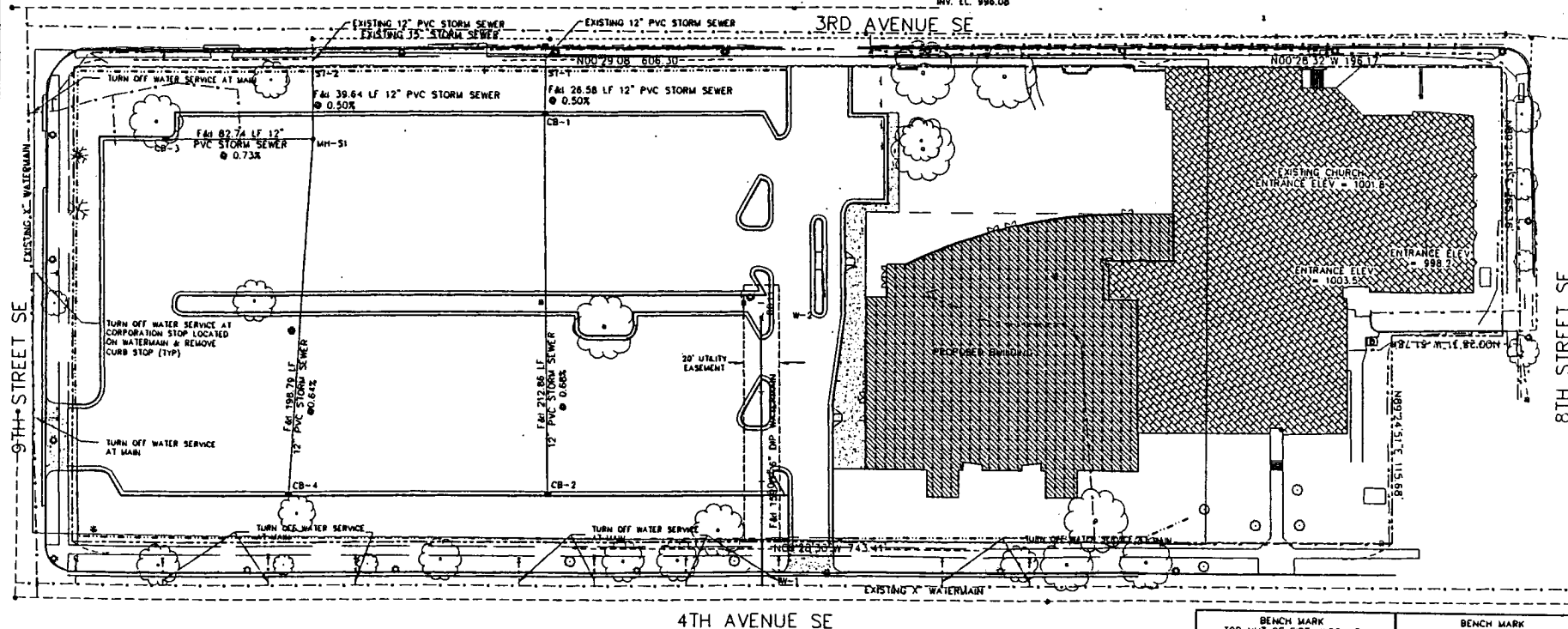
MM-S1
CONSTRUCT STRUCTURE TYPE 4(48")
(R-1710)
RING EL. 999.18
INV. EL. 994.8 - S
INV. EL. 994.8 - E
INV. EL. 994.7 - W

CB-1
CONSTRUCT STRUCTURE TYPE 1 (R-306-DR)
GRATE EL. 999.27
INV. EL. 994.53
INV. EL. 994.43

CB-2
CONSTRUCT STRUCTURE TYPE 1 (R-306-DR)
GRATE EL. 998.98
INV. EL. 995.98

CB-3
CONSTRUCT STRUCTURE TYPE 1 (R-306-DR)
GRATE EL. 998.40
INV. EL. 995.40

CB-4
CONSTRUCT STRUCTURE TYPE 1 (R-306-DR)
GRATE EL. 999.08
INV. EL. 996.08



4TH AVENUE SE

BENCH MARK
TOP NUT OF FIRE HYDRANT
AT NW CORNER OF 4TH AVENUE
& 9TH STREET SE
CITY BM ELEV. 1004.53

BENCH MARK
ARROWHEAD ON FIRE HYDRANT
AT NE CORNER OF 4TH AVENUE
& 8TH STREET SE
CITY BM ELEV. 999.49

UTILITY PLAN

UTILITY PLAN
L LUTHERAN CHURCH
D AVENUE SOUTHEAST
ROCHESTER, MN

**STERILIZED
FISH DEPARTMENT**

SCALE:	AS SHOWN
PROJECT NO.	0310
DRAWN BY:	TAH
CHECKED BY:	DD3
SHEET	

1 of 5

WILKS & CO.

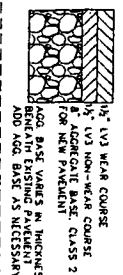
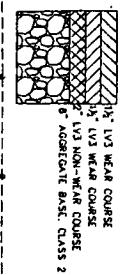
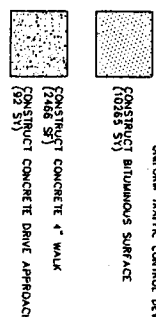
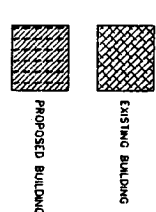
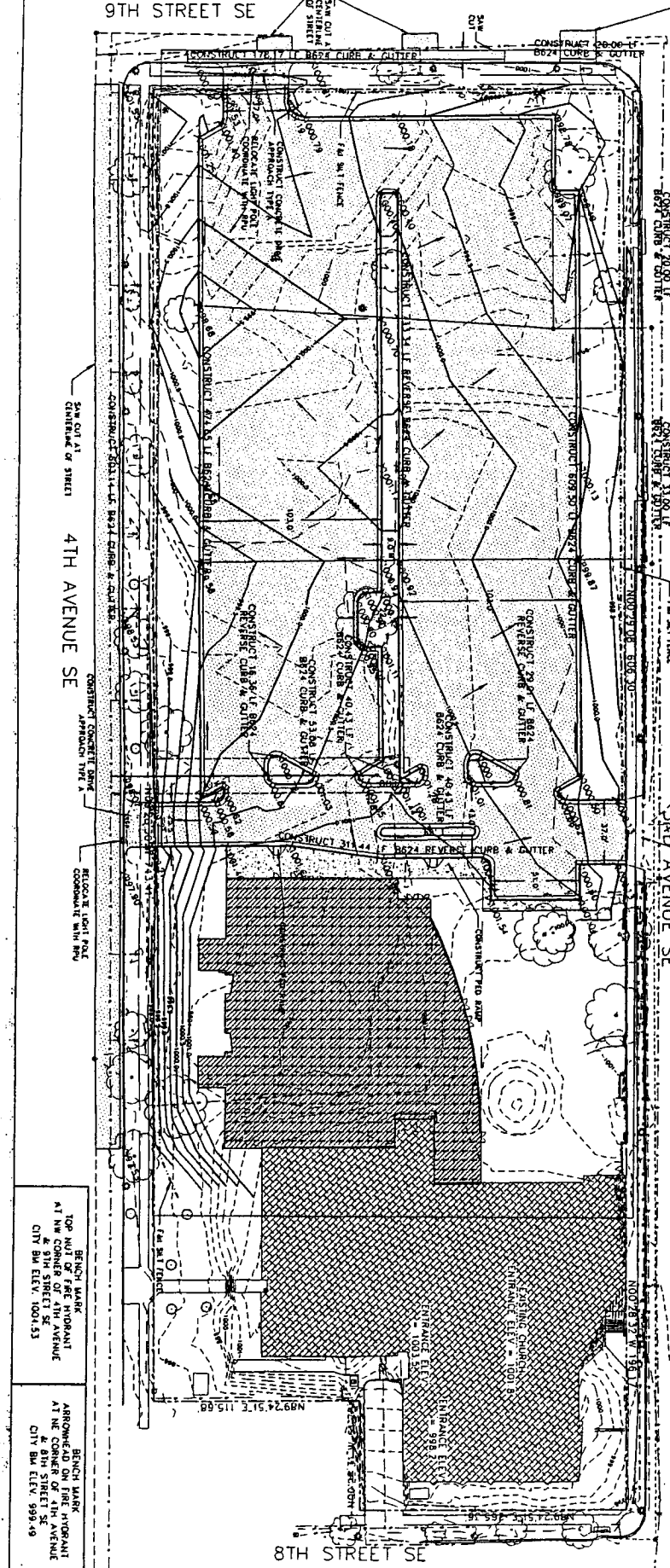
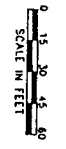
2

LINE LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING BUILDING
(Symbol)	PROPOSED BUILDING
(Symbol)	EXISTING DRIVE
(Symbol)	PROPOSED DRIVE
(Symbol)	EXISTING SIDEWALK
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	EXISTING LOT
(Symbol)	PROPOSED LOT
(Symbol)	EXISTING EASEMENT
(Symbol)	PROPOSED EASEMENT
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING TREES
(Symbol)	PROPOSED TREES
(Symbol)	EXISTING PLANTINGS
(Symbol)	PROPOSED PLANTINGS

SYMBOL LEGEND

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(Symbol)	EXISTING LOT
(Symbol)	PROPOSED LOT
(Symbol)	EXISTING EASEMENT
(Symbol)	PROPOSED EASEMENT
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING TREES
(Symbol)	PROPOSED TREES
(Symbol)	EXISTING PLANTINGS
(Symbol)	PROPOSED PLANTINGS



ALL DISTURBED AREAS SHALL BE COVERED BY A MINIMUM OF 4" OF SALVAGED TOPSOIL. DISTURBED AREAS SHALL BE SLOPED FOLLOWING GRADING OPERATIONS UNLESS OTHERWISE NOTED ON THE LANDSCAPING PLAN.
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING PERMIT FEES INCLUDING THE CONCRETE CURB & GUTTER, PEDESTRIAN RAILS AND SIDEWALK SHALL CONFORM TO THE CITY OF ROCHESTER STANDARD DETAILS.
CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVED DRIVEWAYS AND SIDEWALKS TO THE VERTICAL CURB AND GUTTER. THE PAVING SHALL BE ACCORDANT WITH THE MINNESOTA MANUAL ON ROAD AND TRAFFIC CONTROL DEVICES.
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL WHEN WORKING WITHIN THE RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MINNESOTA MANUAL ON ROAD AND TRAFFIC CONTROL DEVICES.

CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY COMMENCEMENT OF EXCAVATION BY CALLING ROCHESTER UTILITIES DEPARTMENT. EXISTING UTILITIES SHALL BE SHOWN ON THE PLANS. LOCATIONS SHOWN ON THE PLANS ARE FOR CONVENIENCE ONLY. LOCATIONS SHALL BE VERIFIED BY FIELD SURVEY.
TOPSOIL & GRASS SHALL BE STRIPPED FROM ALL EXISTING DRIVEWAYS AND SIDEWALKS. TOPSOIL SHALL BE STOCKPILED IN AREAS SHOWN ON THE PLANS. TOPSOIL SHALL BE REPLACED TO 100% OF STANDARD PRODUCTION DENSITY.
CONTRACTOR SHALL PERFORM GRADING, SIDEWALK AND PAVING CONSTRUCTION IN ACCORDANCE WITH MINNESOTA AND CITY OF ROCHESTER STANDARD SPECIFICATIONS.
ALL EXISTING AND PROPOSED CATCHBASINS SHALL BE CONSTRUCTED TO THE CITY OF ROCHESTER STANDARD DETAILS. A GROUTED COVER SHALL BE PROVIDED FOR EACH CATCHBASIN. A GROUTED COVER SHALL BE PROVIDED FOR EACH CATCHBASIN. A GROUTED COVER SHALL BE PROVIDED FOR EACH CATCHBASIN.

PROPERTY LOCATION:
AT THE FOLLOWING ADDRESS:
810 3RD AVENUE SE,
ROCHESTER, MN
TOTAL PROPERTY AREA =
4.73 ACRES
CURRENT IMPROVED AREA =
2.54 ACRES
IMPROVED AREA AFTER
CONSTRUCTION = 3.05 ACRES

GRADING AND PAVING PLAN
BETHEL LUTHERAN CHURCH
810 3RD AVENUE SOUTHEAST
ROCHESTER, MN

WHKS & CO.

NO.	DATE	REVISIONS

1 OF 1

DATE: JUL 30 2008

PROJECT NO: 0116

DRAWN BY: [Signature]

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SCALE: AS SHOWN

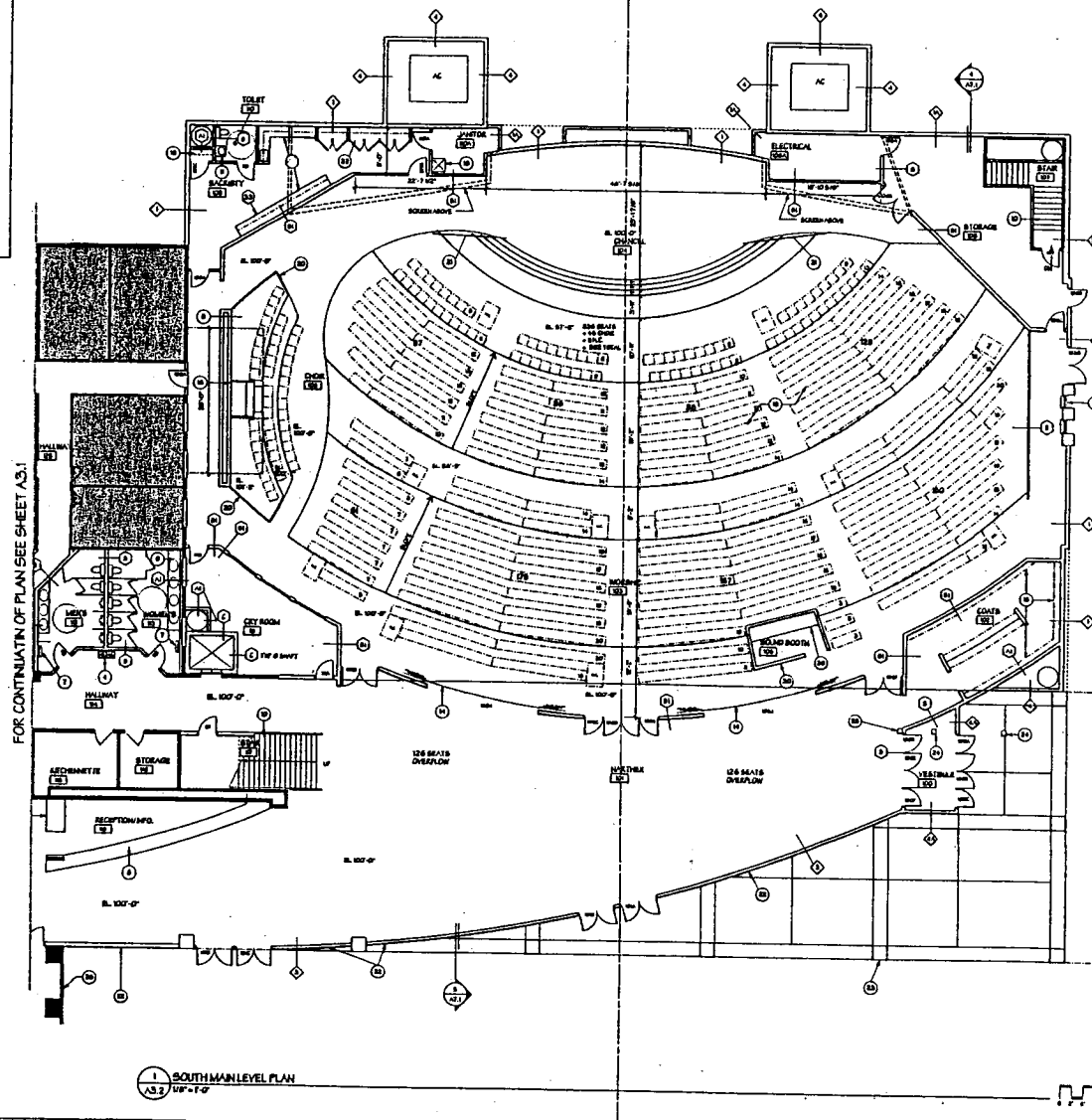
PROJECT NO: 0116

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SCALE: AS SHOWN

- PLAN NOTES**
1. ALL DOOR OPENING NOTED. ALL WINDOW WALLS TO BE TYPE "A" SEE SHEET A3.2 FOR WALL TYPES.
 2. SEE CODE REVISION PLAN SHEET A3.1 FOR SELECTED WALLS AND WINDOW TYPES.
 3. ALL EXTERIOR WINDOWS & DOORS TO BE ALUMINUM UNLESS OTHERWISE NOTED.
 4. INSIDE COOLER, VMC & 18" HANGING VENT.
 5. 21/2" RATED ROLL UP DOOR.
 6. PLUMB COUNTER TOP (W/ SINK) W/ FULL LENGTH MIRROR ABOVE & 80"V" DEPENDANCE TO THE RIGHT OF EACH SIDE.
 7. HORIZONTAL BUILT OUTLINE.
 8. VENEER OF PLYWOOD RECEPTION DESK W/ REVEALS PL THOOD COUNTER TOP.
 9. PROVIDE GRASSHOPPER IN COUNTER.
 10. RAMP W/ SINK & SINK. PROVIDE WOOD HANDRAILS BOTH SIDES OF RAMP.
 11. CONCEALED & METAL PAN SINK.
 12. WALL MOUNTED SINK WITH SINKED WOOD.
 13. PLUMBING COUNTER & UPPER CABBINETS & COUNTER TOP MOUNTED SINK.
 14. FLOOR LIFT RAMP.
 15. BURNED WALL FRONT.
 16. WOOD COAT RACKS.
 17. CLOSET W/ HANGING ROD.
 18. RELOCATED STAIN GLASS WINDOW.
 19. RELOCATED SINK.
 20. FLOOR COVERED BY CHAIRS.
 21. WOOD SHEDDING TOP W/ TEMPERED GLASS PANELS IN BETWEEN PAINTED STEEL PICKETS.
 22. WOOD SHEDDING W/ PAINTED STEEL PICKETS.
 23. 8" OF HIGH GLAZED WINDOWS.
 24. 2" x 2" x 8" BOLD PEARL.
 25. INC. TURNING QUARTER FOR 1" FOOTING.
 26. INC. TURNING QUARTER FOR 1" FOOTING.
 27. INC. TURNING QUARTER FOR 1" FOOTING.
 28. PLUMB COUNTER TOP, 2" x 8" WIDE W/ METAL BRACKETS.
 29. ROLL DOWN COUNTER DOOR MOUNTED.
 30. RELOCATED WINDOW FROM EASTING.
 31. RAIL FRAZER W/ TRANSPARENT GLAZING 7" x 3" HIGH, 14" x 12" HIGH, 14" x 12" HIGH.
 32. 3" x 8" HIGH WALL, 3" x 8" METAL STUDS W/ GUS ON BOTH SIDES. PROVIDE WOOD CAP ON TOP OF WALL.
 33. RELOCATED WINDOW FROM WEST.
 34. 4" x 12" HIGH 2" x 8" DEEP PLUMB COUNTER TOP & HORIZONTAL WALLS IN MATCH.
 35. RELOCATED PLUMB COUNTER TOP & BASE & UPPER CABBINETS.
 36. OFFICE FURNITURE BY OWNER.



1 SOUTH MAIN LEVEL PLAN
A3.2 1/8" = 1'-0"



STATION NINETEEN

Architect - Incorporated
2001 UNIVERSITY
AVENUE SOUTHEAST
SUITE 100
MINNEAPOLIS
MINNESOTA 55414
PHONE (612) 423 1800
FAX (612) 423 0012

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

MINNESOTA

Project No. 1128
Project Name: Bethel Lutheran Church
Date: 1/25/02
By: EPJ
Checked By: RWG

Revisions:

4210

Project Name:

BETHEL LUTHERAN CHURCH

ROCHESTER, MINNESOTA

Small text block containing project details and contact information.

RECEIVED
JUL 30 2003

ROCHESTER OLDEST PLANNING DEPARTMENT
DESIGN DEVELOPMENT

SOUTH MAIN LEVEL PLAN

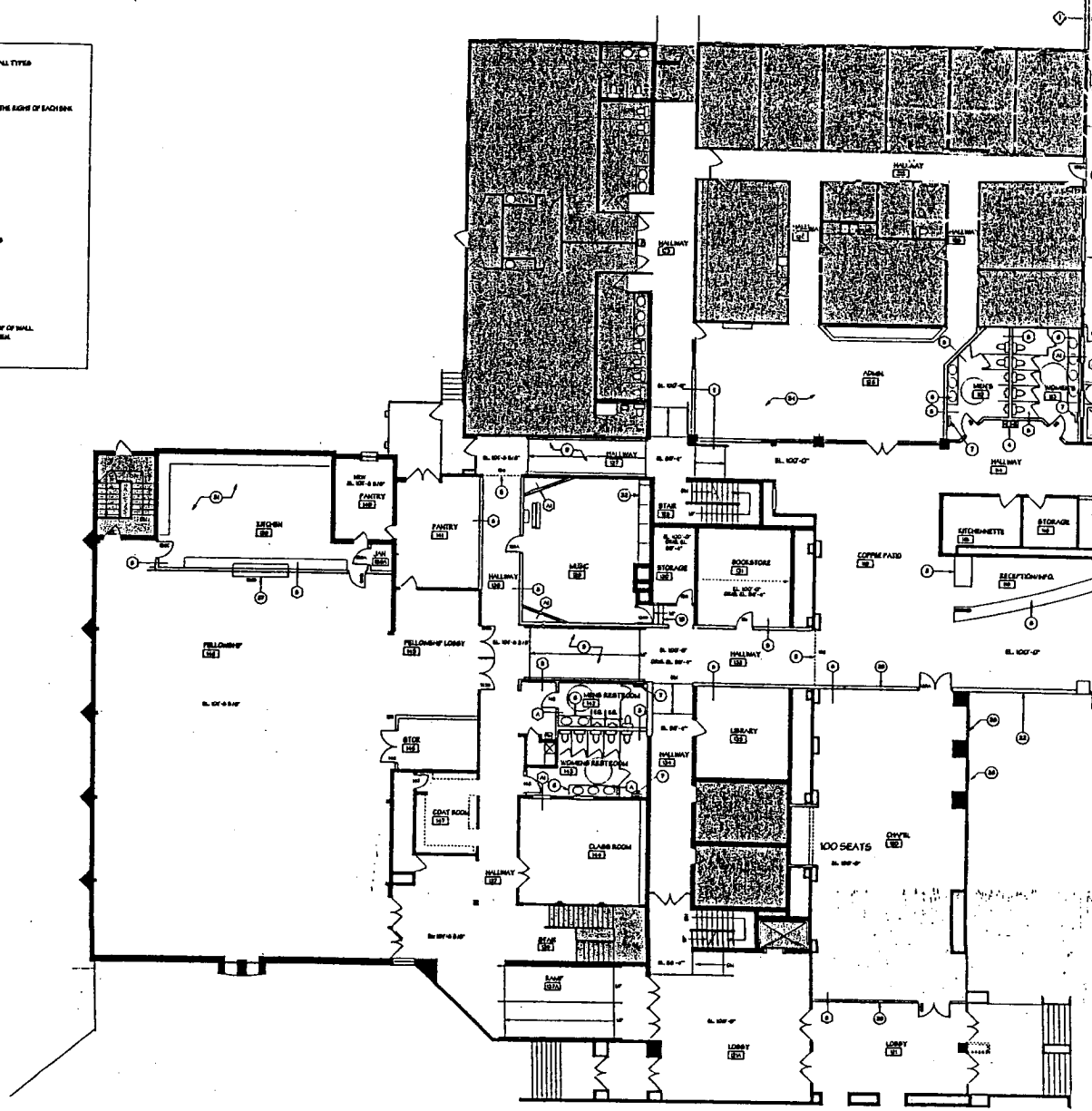
A3.2

Handwritten number 93.

20

PLAN NOTES

1. UNLESS OTHERWISE NOTED, ALL WINDOW WALLS TO BE TYPE "C" SEE SHEET A3.1 FOR WALL TYPES.
2. SEE CODES REFERRED TO IN SHEET A3.1 FOR RELATED WALLS AND HORIZONTAL NOTES.
3. ALL EXTERIOR WINDOWS & DOORS TO BE ALUMINUM FINISHES UNLESS OTHERWISE NOTED.
4. INTERIOR COOLING, HEAT & VENTILATION SYSTEMS.
5. 2" RIGID ROLL DOWN/UP DOOR.
6. PLUMBING COUNTER TOP WITH SINKS BY WALL LENGTHS IN ROOMS ABOVE & BELOW REFERENCED TO THE RIGHT OF EACH LINE.
7. HORIZONTAL SINK OVERHEAD.
8. VERTICAL PLUMBING COUNTER TOPS BY REVEALS, PLUMBING COUNTER TOPS.
9. PROVIDE COUNTER TOPS IN KITCHENS.
10. SINK AND SINK COUNTERS, PROVIDE WOOD HANDRAILS BOTH SIDES OF SINK.
11. CONCRETE & METAL FINISHES.
12. WALL MOUNTED SINK WITH SPREAD WARE.
13. PLUMBING COUNTER & UPPER COUNTER & COUNTER TOP WITH DEEP SINK.
14. FLOOR SHOP SINK.
15. BLIND WALL FINISHES.
16. WOOD COAT SINKS.
17. CLOSET WITH FLOORING.
18. RELOCATED BY FLOORING WINDOW.
19. DESIGN BY OWNER.
20. FLOOR FINISHES BY OWNER.
21. WOOD GUARDRAIL TOP WITH TEMPERED GLASS PANELS IN BETWEEN FINISHED STEEL PICKETS.
22. WOOD GUARDRAIL WITH FINISHED STEEL PICKETS.
23. 8" OF HIGH GLASS WINDOW.
24. 2" OF 2" OF BACK FEEL.
25. 2" OF 2" OF BACK FEEL.
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97. 2" OF 2" OF BACK FEEL.
98. 2" OF 2" OF BACK FEEL.
99. 2" OF 2" OF BACK FEEL.
100. 2" OF 2" OF BACK FEEL.



FOR CONTINUATION OF PLAN SEE SHEET A3.2

1 NORTH MAIN LEVEL PLAN
A3.1
1/8" = 1'-0"

STATION NINETEEN

ARCHITECTS • INCORPORATED
3201 UNIVERSITY
AVENUE SOUTHEAST
SUITE 100
MINNEAPOLIS, MINNESOTA 55414
PHONE (612) 823-1800
FAX (612) 823-0013

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the state of Minnesota.

MINNEAPOLIS

Project Number
8138
Registration Number
705133
Date
1/2/03
Drawn By
Checked By

4210
Project Number

BETHEL
LUTHERAN
CHURCH

ROCHESTER,
MINNESOTA

RECEIVED
JUL 30 2003
ROCHESTER DISTRICT
PLANNING DEPARTMENT

DESIGN
DEVELOPMENT

NORTH MAIN LEVEL PLAN

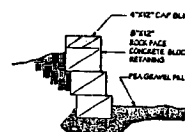
A3.1

EXISTING BUILDING		NEW ADDITION	
LOWER LEVEL	12,910 SF	MAIN LEVEL	19,910 SF
MAIN LEVEL	28,662 SF	ADDITIONAL FOR	
UPPER LEVEL	13,188 SF	HIGH SPACE	
ADDITIONAL FOR		AREA	13,605 SF
HIGH SPACE IN			
SANCTUARY	8,535 SF		
EXISTING BUILDING		TOTAL EXISTING & NEW	
LESS BALCONY	63,295 SF		96,810 SF
SITE SIZE	206,038.8 SF	SITE COVERAGE	47%

BUILDING MAIN LEVEL	48,572 SF
PAVED AREA	101,710 SF
TOTAL HARD SURFACE	152,282 SF
LANDSCAPED AREA	53,757 SF
% OF TOTAL	26%

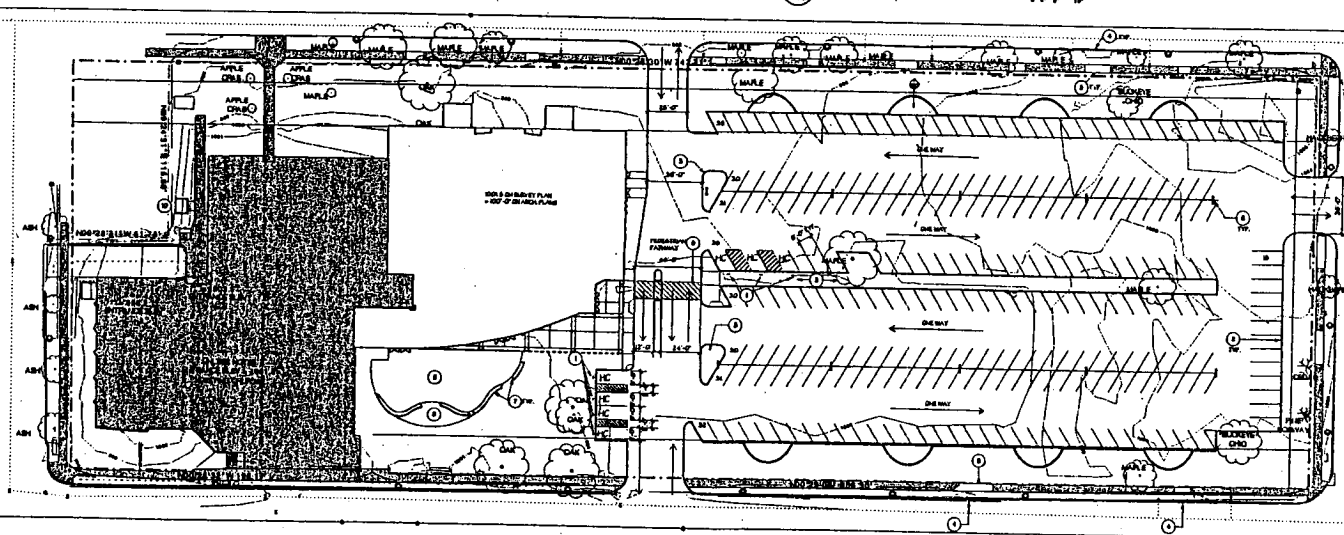
TOTAL PARKING:
 MAIN LOT 262 STALLS
 WEST LOT 115 STALLS
 TOTAL 377 STALLS (1:2.65 RATIO)

CITY REQUIRED 250 STALLS (1:4 RATIO)
 CHURCH EXPERIENCE 500 STALLS (1:2 RATIO)



1 DETAIL AT PERIMETER RETAINING WALL
 A1.2 3/4" = 1'-0"

- SITE NOTES**
1. H.C. 108" SIGN
 2. 8" CURB
 3. CLAMP BOLLARD W/ 10" OF 8"
 4. NEW CURB TO REPLACE EXISTING CURB
 5. PATCH EXISTING SIDEWALK & AREA OF EXISTING CURB & PAVEN
 6. NEW SIDE LIGHTING AND ELEC.
 7. BRICK BRUSH-PAINT BY ONE TOP
 8. CORNER STONE PAVERS
 9. PLANTING BED
 10. TRANSITION CLAUSE, BRICK FACE BLOCK, 8" X 16", 8" HIGH



1 SITE PLAN
 A1.2 1/4" = 30'-0"

STATION NINETEEN

Architects - Incorporated
 3001 UNIVERSITY AVENUE SOUTHEAST
 SUITE 100
 MINNEAPOLIS, MINNESOTA 55414
 PHONE (612) 623-1800
 FAX (612) 623-0812

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the state of

MINNESOTA

Project No. 9138
 Submission Number 7/25/03
 Date 8/1/03
 S.P. R.Y.G.
 Drawn By Checked By

By electronic

4210
 Project Number

BETHEL LUTHERAN CHURCH

ROCHESTER, MINNESOTA

These plans were prepared by the undersigned architect or engineer, or by a duly registered architect or engineer under the supervision of the undersigned architect or engineer, and the undersigned architect or engineer is a duly registered architect or engineer under the laws of the state of Minnesota.

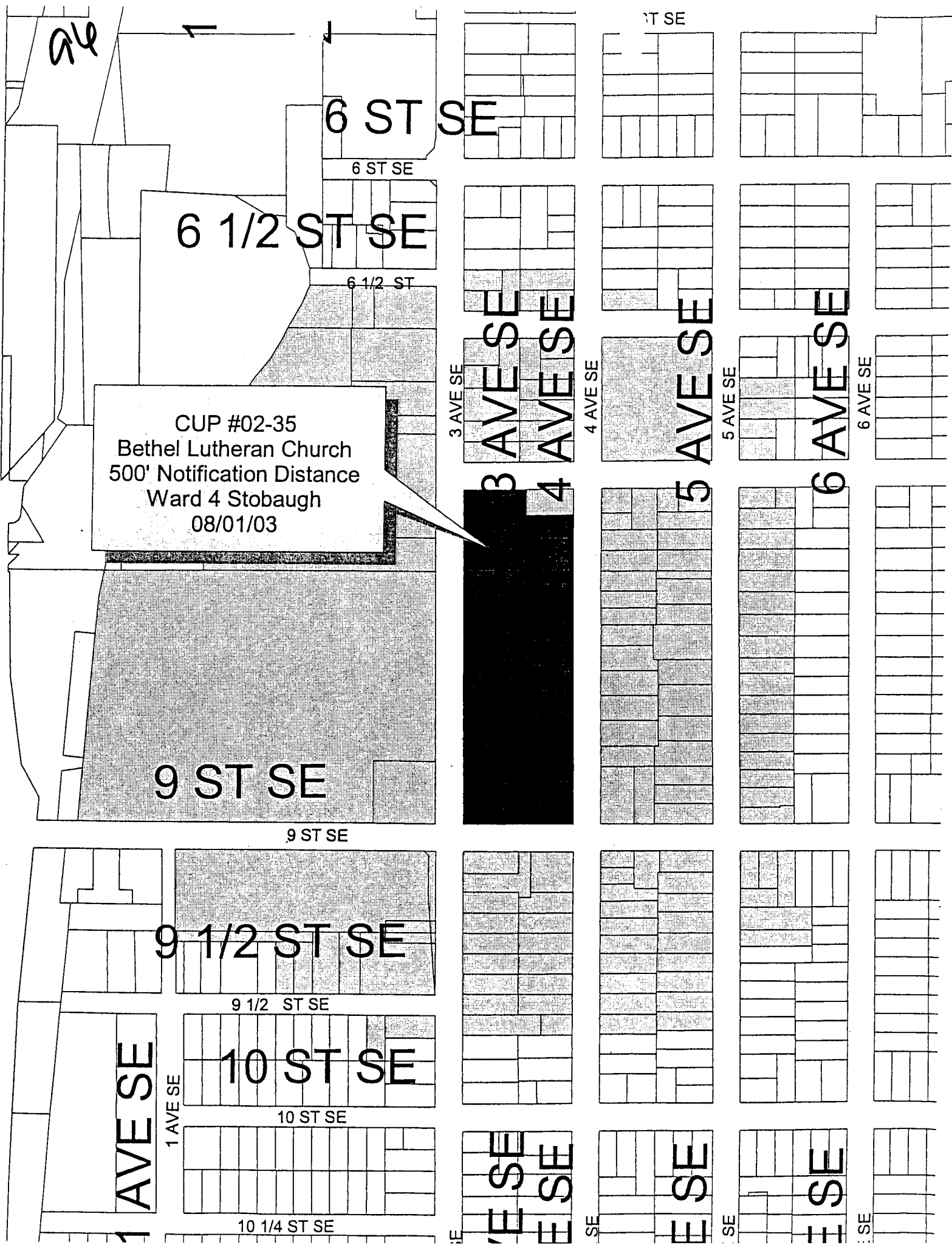
RECEIVED
 JUL 30 2003
 ROCHESTER DISTRICT PLANNING DEPARTMENT

DESIGN DEVELOPMENT

SITE PLAN

A1.2

95



94

6 ST SE

6 ST SE

6 1/2 ST SE

6 1/2 ST

CUP #02-35
Bethel Lutheran Church
500' Notification Distance
Ward 4 Stobaugh
08/01/03

3 AVE SE

3 AVE SE

4 AVE SE

4 AVE SE

5 AVE SE

5 AVE SE

6 AVE SE

6 AVE SE

9 ST SE

9 ST SE

9 1/2 ST SE

9 1/2 ST SE

10 ST SE

10 ST SE

10 1/4 ST SE

1 AVE SE

1 AVE SE

1 AVE SE

1 AVE SE

1 AVE SE

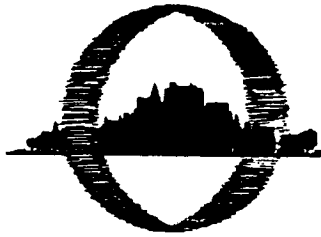
1 AVE SE

1 AVE SE

1 AVE SE

1 AVE SE

1 AVE SE

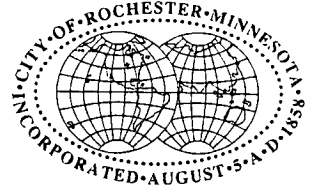


ROCHESTER-OLMSTED PLANNING DEPARTMENT

2122 Campus Drive SE, Suite 100 • Rochester, MN 55904-4744

COUNTY OF
Olmsted

www.olmstedcounty.com/planning



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TO: City Planning and Zoning Commission

FROM: Theresa Fogarty, Planner

DATE: August 21, 2003

RE: Type III, Phase III Incentive Development Final Plan #02-35, by Bethel Lutheran Church to permit a 33,515 square foot addition to the existing facility that would exceed the permitted floor area ratio. The property is located at 810 Third Avenue SE. The property is bounded by 3rd Avenue SE on the west, 4th Avenue SE on the east, 9th Street SE on the south and 8th Street SE on the north.

Planning Department Review:

Applicant/Owner: Bethel Lutheran Church
Attn: Chris Zabel
810 Third Avenue SE
Rochester, MN 55904

Consultant: Station Nineteen Architects, Inc.
1002 University Avenue SE, Suite 100
Minneapolis, MN 55414

Referral Comments: Rochester Public Works Dept.
RPU Water Division
Rochester Fire Department

Report Attachments:

1. Land Development Manual Excerpts
2. Site Plan and Elevations
3. Location Map
4. Referral Comments (3 Letters)

Development Review:

Location of Property: The property is located at 810 Third Avenue SE.

Zoning: The property is in the R-2 (Low Density Residential) district.



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Summary of Proposed Development:

BACKGROUND HISTORY:

On June 25, 2002, the applicant submitted an application for an Incentive Development preliminary plan on this property. The CPZC held a public hearing on the application on August 28, 2002. At that hearing the Commission recommended to the City Council approval of the Incentive Development with nine conditions. The City Council held a public hearing on September 16, 2002. This public hearing was continued to October 7, 2002. The City Council approved the application with 9 conditions, removing condition #1-b regarding the access to 9th Street SE being limited to a single access. The applicant submitted a revised parking plan, which included additional landscaping plans.

PROJECT SUMMARY:

The applicant is proposing to construct a single story addition to the existing building which will redevelopment of the entire block with the exception of the extreme NE parcel. The Church has purchased all of the properties in question for this development. The addition consists of a thousand seat new sanctuary with an adjacent lobby for gathering space. A total of 262 parking spaces will be provided on site and additional 115 off-site, across the street to the west. The parking lot is designed with with 60 degree angle spaces with landscaped islands. The islands will include landscaping materials. This project is proposing to eliminate one parking lot access along 3rd Avenue SE (presently there are two) and provide one access point to the parking area along 9th Street SE.

Churches are a permitted use as an Area Accessory Development in the Rochester Zoning Ordinance. The property is zoned R-2 (Low Density Residential). Within this zoning district, a floor area ratio of .30 is permitted as a Type I staff approved application. Developments with a floor area ratio between .30 and .50 are a Type III use, with the criteria for Incentive Development used in the review process. The total site area for this development is 206,039 square feet. The site currently consist of 63,295 square feet of building area. The applicant is proposing a 33,515 square foot addition. The total square footage would be 96,810, which is a floor area ratio of .47. Since the floor area ratio is .47, the proposed addition need to be reviewed as a Type III Incentive Development. The applicant is requesting approval for a floor ratio of up to .47.

The applicant completed a Landscape Reduction of the required standards for the Landscape Area, as provided in Section 63.230 of the Land Development Manual. The permissible Landscape Reduction in the Landscape Area for this proposed project equals 28.41%. The proposed project is providing a Landscape Area of 36%. The proposed project is exceeding the allowed Landscape Area by approximately 7.5% once the Landscape Area Reduction Calculation is completed.

On October 4, 1989, the Rochester Zoning Board of Appeals approved the following variances: 1 13' variance to the east setback, a 25' variance to the front yard setback requirement, a 30' 51/2" variance to the actual peak height, and a 23' variance on the Jensen property, with the following condition: 1. The 160 space parking site located directly west across 3rd Avenue SE from the church be paved and striped. A life term lease or proof of ownership of that property be submitted ensuring that the off-street parking requirements are being met; and 2. The actual height of the building's peak may not exceed 65' 5 1/2". The approved variances permitted the construction of an addition to the church increasing the seating capacity of the worship center to 1100-1200 seats.

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The proposed addition will be comprised of a mixture of face brick (matching the existing), limestone trim, translucent skylights and a roofing material of asphalt shingles.

Incentive Development:

The Incentive Development provisions of the Land Development Manual allow for a higher intensity development when certain actions are taken by the landowner to make the development more attractive and publicly acceptable. These actions may include additional open space amenities, traffic and pedestrian amenities and/or design features. The Incentive Development approval procedure is a two step process consisting of a preliminary plan and a final development plan. The preliminary plan is reviewed under a Type III, Phase II, procedure with a public hearing before the Planning Commission and a public hearing before the Council. The final plan is reviewed under the Type III, Phase III, procedure which requires a review before the Commission and hearing before the Council. The Council does have the authority to waive the final plan.

The criteria to be considered when reviewing an Incentive Development are listed in Paragraph 62.630 (1), which is attached for your review. This section considers the suitability of the area and the site design. The preliminary plan may be approved if it is found that the development has addressed and satisfied all of the criteria, or that a practical solution consistent with the public interest can be incorporated into the design.

Density bonuses are granted in exchange for the incorporation of features determined to be of public benefit. Features to be considered are listed in Paragraphs 62.651-62.659 of the Ordinance. The sections applicable to this project are attached for your information.

Density Bonuses:

Section 62.651 Bonuses in the R-2 (Low Density Residential) zoning district:

#1 Energy Conservation: *The proposed addition is to include a translucent skylight.*

Section 62.657 Bonuses in All Residential Development:

#3 Proximity to Bus Shelter: *This proposed project is located within ¼ mile of an existing bus shelter.*

#5 Site Planning: *This project is proposing to incorporate additional landscaping along the building and parking lot and proposes to remove an access location along 3rd Avenue SE (an arterial roadway). Eliminating one of the existing access locations along 3rd Avenue SE (an arterial roadway) and providing access location along 9th Street SE will provide a positive impact regarding the ingress and egress of traffic generated by the proposed addition to the church. The Rochester Public Works Department will allow only one access opening on 9th Street SE.*

Section 62.658 All Development:

#5 Utility Service: *This project will include the installation of an additional fire hydrant.*

#6 Integrated Planning: *The proposed project involves the integrated development of a site which is a minimum of one acre in size and is located in an established district.*

#7 Landscape Area: *The Landscape Area requirement for the R-2 zoning district is 40%. The applicant completed a Landscape Reduction of the required standards for the Landscape Area, as provided in Section 63.230 of the Land Development Manual. The permissible Landscape Reduction in the Landscape Area for this proposed project equals 28.41%. The proposed project is providing a Landscape Area of 36%. The proposed project is exceeding the allowed Landscape Area by approximately 7.5% once the Landscape Area Reduction Calculation is completed.*

#8 Access Points: *The proposed project will be eliminating one of two access points along 3rd Avenue SE and providing one new access point along 9th Street SE. The Rochester Public Works Department will only allow one access location along 9th Street SE.*

#9 Parking lot landscaping. *The proposed project includes the planting of canopy trees and ornamental trees along the 9th Street SE and 4th Avenue SE, providing screening of the parking lot from residential areas. The proposed project proposes to retain as many existing mature trees on the site as possible of which five are old oak tree and are featured in an open courtyard to Third Avenue. Along 4th Avenue SE a row of evergreens is proposed to shield the view of the parking from the residential area to the east.*

Criteria & Findings:

The criteria to be considered when reviewing an Incentive Development are listed in Paragraph 62.630 (2), which is attached for your review. This section considers the suitability of the area and the site design. The final plan may be approved if it is found that the development has addressed and satisfied all of the criteria, or that a practical solution consistent with the public interest can be incorporated into the design. Staff suggests the following findings:

2) Final Development Plan Criteria:

- a) **Public Facility Design:** *Utilities are already available to this project. Some utilities may need to be relocated (i.e. water and electric) to accommodate this development. The applicant is responsible for any costs associated with relocation of utilities. All existing water service that will be unused must be abandoned properly at the main in the street, per City Public Utilities – Water Division requirements.*
- b) **Geologic Hazard:** *There are no known geologic hazards related to this project.*
- c) **Access Effect:** *The site plan shows a 36' wide access onto 3rd Avenue SE and onto 9th Street SE. Council approval is required to allowing, the proposed accesses to exceed the maximum width allowed of 32 feet. Rochester Public Works supports an access width at 36 feet. If the City Council does not approve the 36' wide access opening, the site plan shall be revised so that the openings are at the maximum 32' width.*
- d) **Pedestrian Circulation:** *The condition of the existing concrete sidewalk and curb along the frontages of this property will be reviewed by City Public Works staff, and any needed panel repair and/or replacement work of sidewalk or curbing shall be done concurrent with the building expansion project.*

- e) **Foundation and Site Plantings:** *A landscape plan for the site has been prepared which indicates the finishes site will be consistent with the landscape character of the surrounding area. The retaining wall shown on the plan must be at least 18 inches from the edge of the sidewalk. In addition, the landscape plantings must also maintain 18 inches of clearance from the sidewalk at full growth.*
- f) **Site Status:** *The entire property is under the ownership of the church and all maintenance of the buildings and landscaping is the responsibility of the church. Construction plans for utilities must be prepared by an engineer and submitted and approved by the City prior to construction. The proposed use is compatible with the existing land uses in the area and the use of the property has been in existence since 1956.*
- g) **Screening and Bufferyards:** *The project consists of providing canopy and ornamental trees along the south and east property liens that are adjacent to the residential areas. The applicant performed a Landscape Area Reduction formula thereby allowing a 28.41% Landscape area. The proposed project is providing a 36% Landscape area, exceeding the allowed Landscape Area by approximately 7.5%.*
- h) **Final Building Design:** *The final building design is consistent with the principles identified in preliminary development plan relative to Height Impact, Setbacks, and internal Site Design.*
- i) **Internal Circulation Areas:** *Plans for off-street parking and loading areas and circulation aisles to serve these areas meet ordinance requirements in terms of design. A total of 262 parking spaces will be provided on site and an additional 115 off-site, across the street to the west. The parking lot is designed with 60 degree angle spaces with landscaped islands.*
- j) **Ordinance Requirements:** *The proposed project is exceeding the required on-site parking spaces by 12 and provides an additional 115 parking spaces off-site across 3rd Avenue SE to the west. The applicant performed a Landscape Area Reduction formula thereby allowing a 28.41 Landscape Area. The proposed project is providing a 36% Landscape Area, exceeding the allowed Landscape Area by approximately 7.5%.*

Staff Recommendation:

Based on the staff analysis and suggested findings for the Incentive Development, the Planning staff would recommend approval of this Incentive Development Final Development Plan subject to the following conditions or modifications:

1. **The design and site plan shall be revised, prior to the Council meeting to include the additional landscaping being provided from the preliminary plan and matching the number of parking spaces to be provided currently established at 262 spaces.**
2. **A separate grading plan approval is required for this project if grading involves more than 50 cubic yards of materials and a storm water management fee will be applicable to any increase in impervious surface resulting from this project.**

3. The owner shall obtain a Revocable Permit from the City for the continued use of banners and associated brackets mounted on utility poles within the public right-of-way. If the Revocable Permit is not granted, banners and brackets shall be removed.
4. A Storm Water Management fee will be applicable to any NEW additional areas of impervious surface.
5. Any existing utilities that need to be relocated as a result of this development shall be relocated at the expense of the applicant. All existing water services that will be unused must be abandoned properly at the main in the street, per City Public Utilities – Water Division requirements. If the relocation of public sanitary sewer, storm sewer, or watermain is required, the execution of a City/Owner Contract shall be completed for this project.
6. An additional fire hydrant shall be provided at the 4th Avenue SE entrance to the parking lot. The location of the additional fire hydrant can be moved to the boulevard area of 4th Avenue SE near the east entrance. The Fire Prevention Bureau has approved this location and since the hydrant will be located within the public right-of-way, the execution of a City/Owner Contract will be necessary.
7. Council approval is required to allow the proposed access onto 3rd Avenue SE and onto 9th Street SE, since they exceed the maximum width allowed of 32 feet. Public Works supports the proposed access width at 36 feet. (Note: The widths are indicated as 36 feet on one page of the plans, and as 37th feet on another). If the City Council doesn't approve the 36' wide access opening, the site plan shall be revised so that the openings are at the maximum 32' in width.
8. The retaining wall shown on the plan must be at least 18 inches from the edge of the sidewalk. Landscape plantings must also maintain 18 inches of clearance from the sidewalk at full growth.
9. The owner shall remove any remaining driveway approaches from the removed dwellings and restore the curb and boulevard. The condition of the existing concrete sidewalk and curb along the frontages of this property will be reviewed by City Public Works staff, and any needed panel repair and/or replacement work of sidewalk or curbing shall be done concurrent with the building expansion project. The driveway changes on 3rd Avenue SE shall be required to match existing construction and meet City design standards.

EXCERPTS FROM THE ROCHESTER ZONING ORDINANCE AND LAND DEVELOPMENT MANUAL

62.630 CRITERIA FOR INCENTIVE DEVELOPMENTS:

In determining whether to approve, approve with conditions, or deny an application, the Commission and Council shall be guided by the following criteria:

2) Final Development Plan Criteria:

- a) **Public Facility Design:** The design of private and public utility facilities meet the requirements and specifications which the applicable utility has adopted.
- b) **Geologic Hazard:** Engineering means to deal with areas of geologic hazard have been incorporated into the development plan or such areas have been set aside from development.
- c) **Access Effect:** Ingress and egress points have been designed and located so as to address concerns identified in Phase I regarding the operation of access points, and plans for private improvements or evidence of planned public improvements which will alleviate the problems have been provided.
- d) **Pedestrian Circulation:** The plan includes elements to assure that pedestrians can move safely both within the site and across the site between properties and activities within the neighborhood area, and, where appropriate, accommodations for transit access are provided.
- e) **Foundation and Site Plantings:** A landscape plan for the site has been prepared which indicates the finished site will be consistent with the landscape character of the surrounding area.
- f) **Site Status:** Adequate measures have been taken to insure the future maintenance and ownership pattern of the project, including common areas, the completion of any platting activities, and the provision of adequate assurance to guarantee the installation of required public improvements, screening and landscaping.
- g) **Screening and Bufferyards:** The final screening and bufferyard design contains earth forms, structures and plant materials which are adequate to satisfy the needs identified in preliminary development plan for the project.
- h) **Final Building Design:** The final building design is consistent with the principles identified in preliminary development plan relative to Height Impact, Setbacks, and Internal Site Design.
- i) **Internal Circulation Areas:** Plans for off-street parking and loading areas and circulation aisles to serve these areas meet ordinance requirements in terms of design.

- j) **Ordinance Requirements:** The proposed development is consistent with the requirements of the underlying zoning district for similar uses in regards to signage and other appearance controls, and with general standards such as traffic visibility and emergency access.

BONUS DENSITY

62.658 **All Development:** The criteria in this paragraph may be considered for granting bonus density in all developments:

- 1) **Storm Water Management:** The developer provides on-site or off-site improvements to stormwater facilities that will minimize existing flooding, erosion or siltation problems resulting from obsolete or non-existing stormwater facilities up or downstream from the tract in question; or the developer provides improvements such as over-sized retention basins, channel improvements, or recharge facilities which reduce or eliminate existing flooding, erosion or siltation caused by urban development either up or downstream. The City Council shall determine that the existing problems are sufficient to grant the bonus, based upon the recommendation of the City Engineer.
- 2) The development proposes to integrate the reuse of an existing structure which has been vacant for 24 consecutive months.
- 3) Easements consistent with the flood control project are provided, or other bank treatment or river beautification which will result in increased usage of the area along existing streams for walking, sitting, or other means of passive recreation are developed.
- 4) Street improvements normally provided by the City of Rochester are constructed, dedicated or paid for by the developer. Examples include the provision of right-of-way for arterial streets beyond that normally required to be dedicated, or the construction or payment for turn lanes, signal lights, increased pavement depths, etc.
- 5) **Utility Service:** The development of the site will lead to increased efficiency in the existing public utility delivery system or the more efficient use of already existing utilities. This means, a) that the necessary utilities already exist on the property to be served, or b) the development of the property will provide a necessary link or connection to complete the system or improve service.
- 6) **Integrated Planning:** The proposed development involves the integrated development of a site which is a minimum of one acre in size and located in an established district.
- 7) Each four (4) percent increase in the landscape area ratio above the minimum required shall be considered as meeting the criteria for bonus density/floor area or an increase in plant materials so as to exceed minimum requirements.
- 8) The proposed development minimizes access points by utilizing shared access points with adjacent developments, resulting in a reduction in the number of driveway openings on a collector or higher level street.
- 9) Parking lot landscaping for the purpose of screening residential areas and/or right-of-way areas from concentration of vehicles.

ROCHESTER

— Minnesota —

TO: Consolidated Planning Department
2122 Campus Drive SE
Rochester, MN 55904

DEPARTMENT OF PUBLIC
WORKS
201 4th Street SE Room 108
Rochester, MN 55904-3740
507-287-7800
FAX – 507-281-6216

FROM: Mark E. Baker

DATE: 8/18/03

The Department of Public Works has reviewed the application for Incentive Development #02-35 Final Plan, for the Bethel Lutheran Church Building & Parking Lot Expansion (3rd Ave SE). The following are Public Works comments on this proposal:

1. Separate Grading Plan approval is required for this project if grading will involve more than 50 cubic yards of material.
2. A Storm Water Management fee will be applicable to any NEW additional areas of impervious surface.
3. The condition of existing concrete sidewalk and curb along the frontages of this property will be reviewed by Public Works staff, and any needed panel repair and/or replacement work of sidewalk or curbing shall be done concurrent with the building expansion project.
4. If additional on-site hydrant(s) are needed and/or if the relocation of public sanitary sewer, storm sewer, or watermain is required, the execution of a City / Owner Contract will be necessary for this project.
5. Council approval is required to allow the proposed access onto 3rd Ave SE, and onto 9th St SE, since they exceed the maximum width allowed of 32 feet (Note: The widths are indicated as 36 ft on one page of the plans, and as 37 ft on another). Public Works would support the proposed access widths at 36 ft max.
6. The retaining wall shown on the plan must be at least 18 inches from the edge of the sidewalk. Landscape plantings must also maintain 18 inches of clearance from the sidewalk at full growth.
7. Driveway changes on 3rd Ave Se will be required to match existing construction and meet City design standards.
8. Approval of a revocable permit is required for the continued use of banners and associated brackets mounted on utility poles within the public right-of-way.

Development Charges and fees applicable to the development of this property include the following, and are due within 30 days invoicing by the City, or prior to issuance of utility connection permits (rates are adjusted annually, and were valid through 7/31/03. The actual charges will be based on the rates in place at the time of payment):

- ❖ Sewer Availability Charge (SAC) @ \$1790.25 per developable acre
- ❖ Water Availability Charge (WAC) @ \$1790.25 per developable acre
- ❖ Storm Water Management = TBD, for all NEW additional areas of impervious surface.

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we pledge, we deliver

August 12, 2003

Rochester-Olmsted
CONSOLIDATED PLANNING DEPARTMENT
2122 Campus Drive SE
Rochester, MN 55904-7996

REFERENCE: Type III, Phase II, Incentive Development, Final Plan #02-35 by Bethel Lutheran Church to permit a 33,515 SF addition to the existing facility that would exceed the FAR located at 810 3rd Ave. SE.

Dear Ms. Garness:

Our review of the referenced Incentive Development Request is complete and our comments follow:

1. All existing water services that will be unused must be abandoned properly at the main in the street per our requirements as shown in this submittal.
2. The location of the additional required fire hydrant should be moved to the boulevard area of 4th Avenue SE near the east entrance. The Fire Prevention Bureau has approved that location and since this hydrant would then be located within the public right-of-way, it can be installed under a simple "permit" from City Public Works Department. No easement or owner contract with the City would be necessary.

Please contact us at 507-280-1600 if you have questions.

Very truly yours,

A handwritten signature in black ink that reads "Donn Richardson". The signature is written in a cursive, flowing style.

Donn Richardson
Water

C: Doug Rovang, RPU
Mike Engle, RPU
Mark Baker, City Public Works
Vance Swisher, Fire Prevention Bureau
Bethel Lutheran Church
Station Nineteen Architects, Inc.
WHK&S



The hand to reach for...
DAVID A. KAPLER
Fire Chief

DATE: August 4, 2003

TO: Jennifer Garness, Planning

FROM: R. Vance Swisher, Rochester Fire Department

SUBJ: Type III, Phase II Incentive Development Final Plan 02-35, by Bethel Lutheran Church to permit a 33,515 square foot addition to the existing facility located at 810 3rd Ave SE.

With regard to the above noted project plan, the fire department has the following requirements:

1. An adequate water supply shall be provided for fire protection including hydrants properly located and installed in accordance with the specifications of the Water Division. Hydrants shall be in place prior to commencing building construction.
 - a) An additional fire hydrant shall be provided at the 4th Ave SE entrance to the parking lot.
2. All buildings are required to display the proper street address number on the building front, which is plainly visible and legible from the street fronting the property. Number size must be a minimum 4" high on contrasting background when located on the building and 3" high if located on a rural mail box at the public road fronting the property. Reflective numbers are recommended.

c: Donn Richardson, RPU, Water Division
Mark Baker, Rochester Public Works
Bethel Lutheran Church
Station Nineteen Architects, Inc.

Mr. Svenby explained that the grading plan submitted to Public Works would indicate the materials being hauled.

Mr. Harford stated that the MPCA has rules on demolition material. He indicated that the applicant would need to comply with the MPCA regulations. He indicated that he understood that black top and concrete could not be placed below the waterline and that the ZRC did not indicate that they would be using those materials.

Mr. Burke asked who monitors the project.

Mr. Harford responded the MPCA. It is not covered by the County Solid Waste Ordinance. However, the Commission could suggest that the Council recommend it.

Ms. Petersson moved to recommend approval of Type III, Phase III Conditional Use Permit #03-34 by Zumbro River Constructors (ZRC) with the staff-recommended findings and conditions. Mr. Dockter seconded the motion. The motion carried 8-0.

CONDITIONS:

1. The applicant shall receive approval of the grading and drainage plan prior to any grading activity taking place on the property. The grading plan shall indicate how the fill will be stabilized.
2. The applicant shall receive approval of the plan from the MNDOT through their permit process.

Type III, Phase III Incentive Development Final Plan #02-35, by Bethel Lutheran Church to permit a 33,515 square foot addition to the existing facility that would exceed the permitted floor area ratio. The property is located at 810 Third Avenue SE. The property is bounded by 3rd Ave. SE on the west, 4th Ave. SE on the east, 9th St. SE on the South and 8th St. SE on the North.

Mr. Brent Svenby presented the staff report, dated August 21, 2003, to the Commission. The staff report is on file at the Rochester-Olmsted Planning Department.

Ms. Rivas asked if the landscape plan shows the parking layout.

Mr. Svenby responded that there would be 262 parking spaces. A condition upon approval is receiving a revised plan, since two different plans showed a different amount of parking spaces.

Ms. Rivas asked if the trees they would be protecting where part of the calculations.

Mr. Svenby responded no. The calculation only includes the plantings around the building.

Ms. Petersson moved to recommend approval of Type III, Phase III Incentive Development Final Plan #02-35, by Bethel Lutheran Church with the staff-recommended findings and conditions. Mr. Haeussinger seconded the motion. The motion carried 7-1, with Ms. Rivas voting nay.

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CONDITIONS:

1. The design and site plan shall be revised, prior to the Council meeting to include the additional landscaping being provided from the preliminary plan and matching the number of parking spaces to be provided currently established at 262 spaces.
2. A separate grading plan approval is required for this project if grading involves more than 50 cubic yards of materials and a storm water management fee will be applicable to any increase in impervious surface resulting from this project.
3. The owner shall obtain a Revocable Permit from the City for the continued use of banners and associated brackets mounted on utility poles within the public right-of-way. If the Revocable Permit is not granted, banners and brackets shall be removed.
4. A Storm Water Management fee will be applicable to any NEW additional areas of impervious surface.
5. Any existing utilities that need to be relocated as a result of this development shall be relocated at the expense of the applicant. All existing water services that will be unused must be abandoned properly at the main in the street, per City Public Utilities – Water Division requirements. If the relocation of public sanitary sewer, storm sewer, or watermain is required, the execution of a City/Owner Contract shall be completed for this project.
6. An additional fire hydrant shall be provided at the 4th Avenue SE entrance to the parking lot. The location of the additional fire hydrant can be moved to the boulevard area of 4th Avenue SE near the east entrance. The Fire Prevention Bureau has approved this location and since the hydrant will be located within the public right-of-way, the execution of a City/Owner Contract will be necessary.
7. Council approval is required to allow the proposed access onto 3rd Avenue SE and onto 9th Street SE, since they exceed the maximum width allowed of 32 feet. Public Works supports the proposed access width at 36 feet. (Note: The widths are indicated as 36 feet on one page of the plans, and as 37th feet on another). If the City Council doesn't approve the 36' wide access opening, the site plan shall be revised so that the openings are at the maximum 32' in width.
8. The retaining wall shown on the plan must be at least 18 inches from the edge of the sidewalk. Landscape plantings must also maintain 18 inches of clearance from the sidewalk at full growth.
9. The owner shall remove any remaining driveway approaches from the removed dwellings and restore the curb and boulevard. The condition of the existing concrete sidewalk and curb along the frontages of this property will be reviewed by City Public Works staff, and any needed panel repair and/or replacement work of sidewalk or curbing shall be done concurrent with the building expansion project. The driveway changes on 3rd Avenue SE shall be required to match existing construction and meet City design standards.

PUBLIC HEARINGS:

Proposed Special District #14 to be known as Pebble Creek and General Development #209 to be known as Pebble Creek by Western Walls, Inc. The Applicant is proposing to zone approximately 56.70 acres of land to a Special District. The Special District includes a General Development Plan for approximately 390.93 acres of land identifying

